

Notice of Meeting

Southern Area Planning Committee

Date: Tuesday 5 April 2022

Time: 5.30 pm

Venue: Main Hall, Crosfield Hall, Broadwater Road, Romsey, Hampshire,
SO51 8GL

For further information or enquiries please contact:

Caroline Lovelock - 01264 368014
clovelock@testvalley.gov.uk

Legal and Democratic Service

Test Valley Borough Council,
Beech Hurst, Weyhill Road,
Andover, Hampshire,
SP10 3AJ

www.testvalley.gov.uk

PUBLIC PARTICIPATION SCHEME

If members of the public wish to address the meeting they should notify the Legal and Democratic Service at the Council's Beech Hurst office by noon on the working day before the meeting.

Membership of Southern Area Planning Committee

MEMBER

WARD

Councillor M Cooper (Chairman)	Romsey Tadburn
Councillor M Hatley (Vice-Chairman)	Ampfield & Braishfield
Councillor G Bailey	Blackwater
Councillor P Bundy	Chilworth, Nursling & Rownhams
Councillor J Burnage	Romsey Cupernham
Councillor A Dowden	Valley Park
Councillor C Dowden	North Baddesley
Councillor S Gidley	Romsey Abbey
Councillor I Jeffrey	Mid Test
Councillor M Maltby	Chilworth, Nursling & Rownhams
Councillor J Parker	Romsey Tadburn
Councillor A Ward	Mid Test
Councillor A Warnes	North Baddesley

Southern Area Planning Committee

Tuesday 5 April 2022

AGENDA

**The order of these items may change as a result of members
of the public wishing to speak**

- 1 Apologies**
- 2 Public Participation**
- 3 Declarations of Interest**
- 4 Urgent Items**
- 5 Minutes of the meeting held on 15 March 2022**
- 6 Information Notes 4 - 9**
- 7 21/03213/FULLS - 29.11.2021 10 - 22**

(OFFICER RECOMMENDATION: PERMISSION)

SITE: 100 Rownhams Road, North Baddesley, SO52 9EU,

NORTH BADDESLEY

CASE OFFICER: Miss Ash James

- 8 22/00304/FULLS - 08.02.2022 23 - 28**

(OFFICER RECOMMENDATION: PERMISSION)

SITE: 32 and 33 Catmint Close, Chandlers Ford, SO53

4NT, VALLEY PARK

CASE OFFICER: Mr Nathan Glasgow

ITEM 6

TEST VALLEY BOROUGH COUNCIL SOUTHERN AREA PLANNING COMMITTEE INFORMATION NOTES

Availability of Background Papers

Background papers may be inspected up to five working days before the date of the Committee meeting and for four years thereafter. Requests to inspect the background papers, most of which will be on the application file, should be made to the case officer named in the report or to the Development Manager. Although there is no legal provision for inspection of the application file before the report is placed on the agenda for the meeting, an earlier inspection may be agreed on application to the Head of Planning and Building.

Reasons for Committee Consideration

The majority of applications are determined by the Head of Planning and Building in accordance with the Council's Scheme of Delegation which is set out in the Council's Constitution. However, some applications are determined at the Area Planning Committees and this will happen if any of the following reasons apply:

- (a) Applications which are contrary to the provisions of an approved or draft development plan or other statement of approved planning policy where adverse representations have been received and which is recommended for approval.
- (b) Applications (excluding notifications) where a Member requests in writing, with reasons and within the Application Publicity Expiry Date, that they be submitted to Committee. A Member can withdraw this request at any time prior to the determination of the application to enable its determination under delegated powers.
- (c) Applications submitted by or on behalf of the Council, or any company in which the Council holds an interest, for its own developments except for the approval of minor developments.
- (d) Applications where the Head of Planning and Building Services recommends refusal of an application solely on the basis of failure to achieve nutrient neutrality where a Ward Member requests in writing, with reasons, within 72 hours of notification of the recommendation for refusal that they be submitted to Committee for determination. A Member can withdraw this request at any time prior to the determination of the application to enable its determination under delegated powers.
- (e) To determine applications (excluding applications for advertisement consent, certificates of lawfulness, listed building consent, and applications resulting from the withdrawal by condition of domestic permitted development rights;

Schedule 2, Part 1, Classes B, C, D, E, F, G, and H of the Town and Country Planning (General Permitted Development) (England) Order 2015 or as amended) on which a material planning objection(s) has been received within the Application Publicity Expiry Date and which cannot be resolved by negotiation or through the imposition of conditions and where the officer's recommendation is for approval, following consultation with the Ward Members, the latter having the right to request that the application be reported to Committee for decision.

Public Speaking at the Meeting

The Council has a public participation scheme, which invites members of the public, Parish Council representatives and applicants to address the Committee on applications. Full details of the scheme are available from Planning and Building Services or from Democratic Services at the Council Offices, Beech Hurst, Weyhill Road, Andover. Copies are usually sent to all those who have made representations. Anyone wishing to speak must book with the Democratic Services within the stipulated time period otherwise they will not be allowed to address the Committee.

Speakers are limited to a total of three minutes per item for Councillors on the Area Committee who have personal interests or where a Member has pre-determined his/her position on the relevant application, three minutes for the Parish Council, three minutes for all objectors, three minutes for all supporters and three minutes for the applicant/agent and relevant Ward Members who are not Committee Members will have a maximum of five minutes. Where there are multiple supporters or multiple objectors wishing to speak the Chairman may limit individual speakers to less than three minutes with a view to accommodating multiple speakers within the three minute time limit. Speakers may be asked questions by the Members of the Committee, but are not permitted to ask questions of others or to join in the debate. Speakers are not permitted to circulate or display plans, photographs, illustrations or textual material during the Committee meeting as any such material should be sent to the Members *and* officers in advance of the meeting to allow them time to consider the content.

Content of Officer's Report

It should be noted that the Officer's report will endeavour to include a summary of the relevant site characteristics, site history, policy issues, consultations carried out with both internal and external consultees and the public and then seek to make a professional judgement as to whether permission should be granted. However, the officer's report will usually summarise many of the issues, particularly consultations received from consultees and the public, and anyone wishing to see the full response must ask to consult the application file.

Status of Officer's Recommendations and Committee's Decisions

The recommendations contained in this report are made by the officers at the time the report was prepared. A different recommendation may be made at the meeting should circumstances change and the officer's recommendations may not be accepted by the Committee.

In order to facilitate debate in relation to an application, the Chairman will move the officer's recommendations in the report, which will be seconded by the Vice Chairman. Motions are debated by the Committee in accordance with the Council's Rules of Procedure. A binding decision is made only when the Committee has formally considered and voted in favour of a motion in relation to the application and, pursuant to that resolution, the decision notice has subsequently been issued by the Council.

Conditions and Reasons for Refusal

Suggested reasons for refusal and any conditions are set out in full in the officer's recommendation.

Officers or the Committee may add further reasons for refusal or conditions during the Committee meeting and Members may choose to refuse an application recommended for permission by the Officers or to permit an application recommended for refusal. In all cases, clear reasons will be given, by whoever is promoting the new condition or reason for refusal, to explain why the change is being made.

Decisions subject to Completion of a Planning Obligation

For some applications, a resolution is passed to grant planning permission subject to the completion of an appropriate planning obligation (often referred to as a Section 106 agreement). The obligation can restrict development or the use of the land, require operations or activities to be carried out, require the land to be used in a specified way or require payments to be made to the authority.

New developments will usually be required to contribute towards the infrastructure required to serve a site and to cater for additional demand created by any new development and its future occupants. Typically, such requirements include contributions to community facilities, village halls, parks and play areas, playing fields and improvements to roads, footpaths, cycleways and public transport.

Upon completion of the obligation, the Head of Planning and Building is delegated to grant permission subject to the listed conditions. However, it should be noted that the obligation usually has to be completed sufficiently in advance of the planning application determination date to allow the application to be issued. If this does not happen, the application may be refused for not resolving the issues required within the timescale set to deal with the application.

Deferred Applications

Applications may not be decided at the meeting for a number of reasons as follows:

- * The applicant may choose to withdraw the application. No further action would be taken on that proposal and the file is closed.
- * Officers may recommend deferral because the information requested or amended plans have not been approved or there is insufficient time for consultation on amendments.
- * The Committee may resolve to seek additional information or amendments.
- * The Committee may resolve to visit the site to assess the effect of the proposal on matters that are not clear from the plans or from the report. These site visits are not public meetings.

Visual Display of Plans and Photographs

Plans are included in the officers' reports in order to identify the site and its surroundings. The location plan will normally be the most up-to-date available from Ordnance Survey and to scale. The other plans are not a complete copy of the application plans and may not be to scale, particularly when they have been reduced from large size paper plans. If further information is needed or these plans are unclear please refer to the submitted application on the Council's website. Plans displayed at the meeting to assist the Members may include material additional to the written reports.

Photographs are used to illustrate particular points on most of the items and the officers usually take these. Photographs submitted in advance by applicants or objectors may be used at the discretion of the officers.

Human Rights

The European Convention on Human Rights" ("ECHR") was brought into English Law, via the Human Rights Act 1998 ("HRA"), as from October 2000.

The HRA introduces an obligation on the Council to act consistently with the ECHR.

There are 2 Convention Rights likely to be most relevant to Planning Decisions:

- * Article 1 of the 1st Protocol - The Right to the Enjoyment of Property.
- * Article 8 - Right for Respect for Home, Privacy and Family Life.

It is important to note that these types of right are not unlimited - although in accordance with the EU concept of "proportionality", any interference with these rights must be sanctioned by Law (e.g. by the Town & Country Planning Acts) and must go no further than necessary.

Essentially, private interests must be weighed against the wider public interest and against competing private interests. Such a balancing exercise is already implicit in the decision making processes of the Committee. However, Members must specifically bear Human Rights issues in mind when reaching decisions on all planning applications and enforcement action.

Natural Environment and Rural Communities Act 2006 (NERC)

The Council has a duty under the Natural Environment and Rural Communities Act 2006 as follows: "*every public authority must, in exercising its functions, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity*".

It is considered that this duty has been properly addressed within the process leading up to the formulation of the policies in the Revised Local Plan. Further regard is had in relation to specific planning applications through completion of the biodiversity checklists for validation, scoping and/or submission of Environmental Statements and any statutory consultations with relevant conservation bodies on biodiversity aspects of the proposals. Provided any recommendations arising from these processes are conditioned as part of any grant of planning permission (or included in reasons for refusal of any planning application) then the duty to ensure that biodiversity interest has been conserved, as far as practically possible, will be considered to have been met.

Other Legislation

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that determination of applications be made in accordance with the Development Plan unless material considerations indicate otherwise. The Development Plan for the Borough comprises the Test Valley Borough Revised Local Plan (2016), and 'made' Neighbourhood Plans. Material considerations are defined by Case Law and includes, amongst other things, draft Development Plan Documents (DPD), Supplementary Planning Documents (SPD) and other relevant guidance including Development Briefs, Government advice, amenity considerations, crime and community safety, traffic generation and safety.

On the 19th February 2019 the Government published a revised National Planning Policy Framework (NPPF). The revised NPPF replaced and superseded the previous NPPF published in 2018. The revised NPPF is a material consideration in planning decisions.

So that sustainable development is pursued in a positive way, at the heart of the revised NPPF is a presumption in favour of sustainable development. Decisions should apply a presumption in favour of sustainable development. This does not change the statutory status of the development plan as a starting point for decision making. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Where a planning application conflicts with an up to date development plan, permission should not usually be granted. Local planning authorities may take decisions which depart from an up to date development plan,

but only if material considerations in a particular case indicate that the plan should not be followed.

For decision-taking, applying the presumption in favour of sustainable development means:

- Approving development proposals that accord with an up to date development plan without delay; or
- Where there are no relevant development plan policies, or the policies which are most important for determining the application are out of date, granting permission unless:
 - The application of policies in the revised NPPF that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
 - Any adverse impact of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the revised NPPF when taken as a whole.

Existing Local Plan policies should not be considered out of date because they were adopted prior to the publication of the revised NPPF. Due weight should be given to them, according to their degree of consistency with the revised NPPF (the closer the policies in the Local Plan to the policies in the revised NPPF, the greater the weight that may be given).

ITEM 7

APPLICATION NO.	21/03213/FULLS
APPLICATION TYPE	FULL APPLICATION - SOUTH
REGISTERED	29.11.2021
APPLICANT	Mrs Vivienne White
SITE	100 Rownhams Road, North Baddesley, SO52 9EU, NORTH BADDESLEY
PROPOSAL	Roof extension and remodelling of internal layout, installation of attic-floor to create 2 additional bedrooms
AMENDMENTS	Amended plans received 24.01.2022 to amend design - to reduce the impact on the flank wall of the neighbouring side, with all windows (except for WC) on Western side to be fixed with obscured glazing, WC to be obscured glazing
CASE OFFICER	Miss Ash James

Background paper (Local Government Act 1972 Section 100D)

1.0 INTRODUCTION

- 1.1 The application is presented to Southern Area Planning Committee at the request of a Member, for the reason “it has a significant impact on the immediate neighbour and is of a wider public interest”

2.0 SITE LOCATION AND DESCRIPTION

- 2.1 The property is a detached bungalow, with flat roof side extension and garage, on a corner plot, located within the settlement area of North Baddesley

3.0 PROPOSAL

- 3.1 The proposal comprises of a single storey side extension to provide WC and additional living space at ground floor, and a roof extension and roof lights to provide first floor accommodation, and remodelling of internal layout,

4.0 HISTORY

- 4.1 20/03263/FULLS - Proposed roof extension over existing dwelling flat roofs including remodelling of internal layout and new attic-floor to create a larger 4-Bedroom dwelling – Refused 30.04.2021:

“The proposals would have an adverse impact in terms of both over bearing and loss of day light on the amenities and living conditions of the occupiers of this neighbouring dwelling, contrary to Policy LHW4 (c) of the Test Valley Borough Revised Local Plan (2016).”

5.0 CONSULTATIONS

5.1 **Highways:** No Objection

5.2 **Ecology:** No Objection subject to conditions

6.0 **REPRESENTATIONS** Expired 09.02.2022

6.1 **North Baddesley Parish Council:** Objection

- Roof lights overlooking neighbour

6.2 **102 Rownhams Lane (4 x objections summarised):**

Original plans (2x objections)

- Previous application had 2 roof lights proposed now is 6
- BRE report confirms loss of natural light to kitchen/diner
- Light will be reduced as too close to boundary

Amended plans (2x objections)

- roof light remains at a total of 6
- the plans do not show WC window to be fixed only obscure glaze
- Concerned about foundation works

7.0 POLICY

7.1 Government Guidance

National Planning Policy Framework (NPPF)

National Planning Practice Guidance (NPPG)

7.2 Test Valley Borough Revised Local Plan (2016)(RLP)

Policy SD1 – Presumption in Favour of Sustainable Development

Policy COM2 – Settlement Hierarchy

Policy E1- High Quality Development in the Borough

Policy E5 - Biodiversity

Policy LHW4 – Amenity

Policy T2 – Parking Standards

8.0 PLANNING CONSIDERATIONS

8.1 The main planning considerations are:

- Principle of development
- Impact on the character and appearance of the area
- Impact on amenity of neighbouring property
- Impact on ecology
- Impact on parking provision

8.2 **Principle of development**

The sites lies within the settlement boundary as defined on the Inset Maps of the TVBRLP. In accordance with Policy COM2 of the TVBRLP development is permitted provided the proposal is appropriate to other policies of the Revised Local Plan. The proposal is assessed against relevant policies below.

8.3 Impact on the character and appearance of the area

The existing bungalow is of unique design and character in comparison to the neighbouring properties on Rownhams Road. The existing property is a modest bungalow with simple pitched roof on the principal dwelling, and a flat roof single storey garage to the side. All other neighbouring bungalows have hipped roofs, some are consistent in design and others have been altered to provide accommodation within the roof. Furthermore, immediately to the North East and South East of the site are two storey dwellings. The application site is therefore experienced differently to the other properties on Rownhams Road.

8.4 The application seeks to provide a projecting gable roof, with a ridge at a similar height to that of the neighbouring property, 102 Rownhams Road, so as not to dominate the existing dwelling, neighbouring properties, or adversely affect the character or appearance of the area. In this respect the proposal relates well to the varied nature and appearance of the existing street scene.

8.5 Whilst the proposal would be visible from Rownhams Road, it would use materials to match the existing dwelling so as to ensure it is in keeping with the host dwelling. The proposed design is considered to be high quality and relates well to the existing dwelling and neighbouring properties. For these reasons, it is considered that the proposed additions and alterations will not have a detrimental impact on the character or appearance of the immediate area, in accordance with Policy E1 of the Test Valley Borough Council Revised Local Plan.

8.6 Impact on amenity of neighbouring property

Following third party objections, amended plans were received which further reduced the flank wall adjoining 102 Rownhams Lane. The proposal now results in the eaves height being 1.6m which is 0.9m lower than the existing flat garage roof, the roof will then slope away from the neighbouring property to a ridge height of 5.9m. A shade diagram has concluded that no overshadowing would be cast by the proposal to the neighbouring properties. Due to the orientation of the plot, any light lost to 102 Rownhams Road on the windows facing 100 Rownhams Road is already cast by the existing dwelling of 102 Rownhams Road.

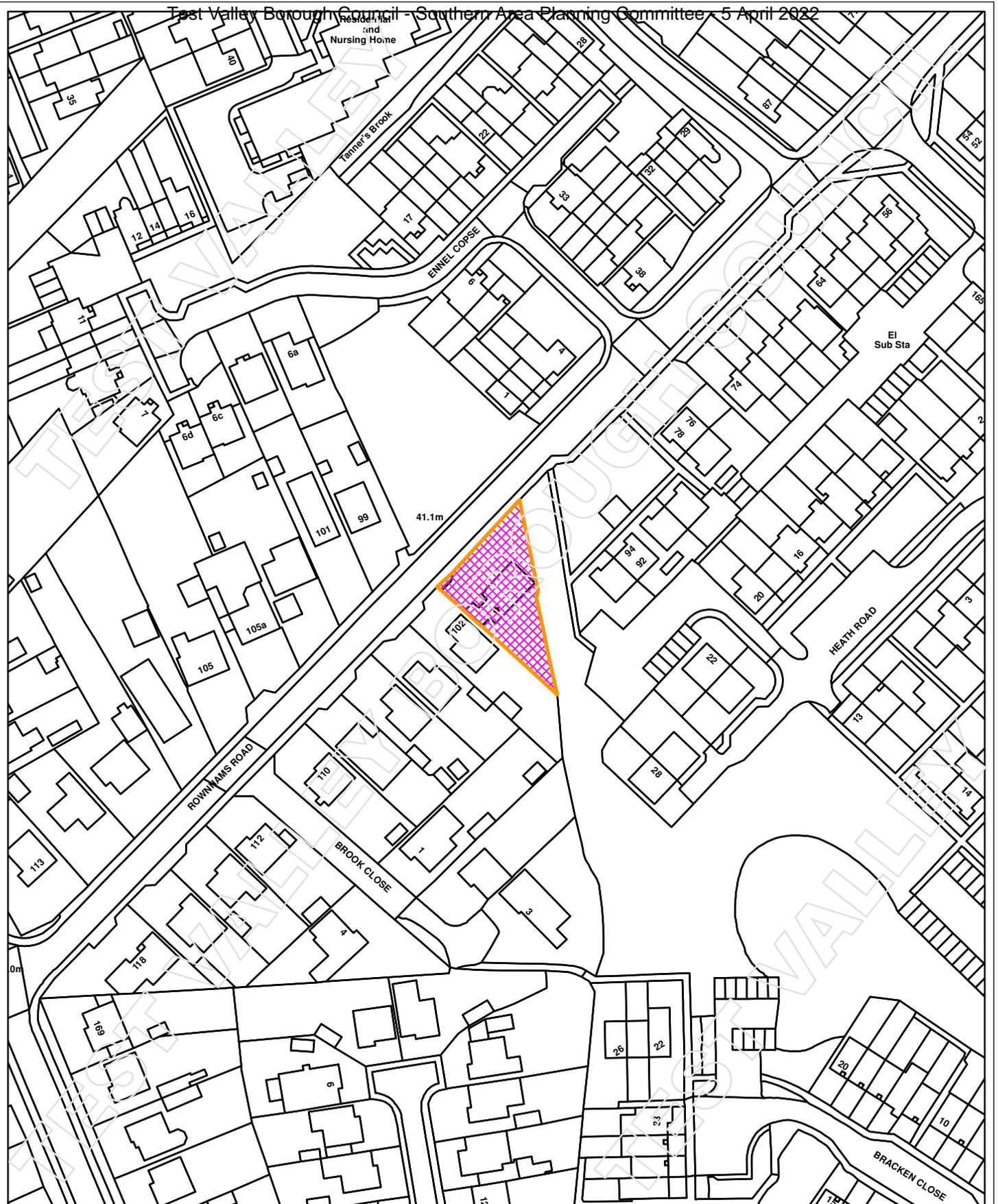
8.7 The proposal does include windows to serve habitable rooms within the new roof space. The South-West elevation, proposes rooflights, to facilitate a bed room, stairway, lounge, and downstairs WC. All rooflights are proposed to be fixed with obscured glass, with the exception of the ground floor WC. Following the revised drawings, whilst third party comments were received in relation to the WC roof light, it is not considered that restricting this window to be fixed shut would be necessary, due to its position towards the front of the dwelling and its high level nature as shown on section plan P2 07B. As such, given the high level positioning and location of the proposed roof lights, it is considered that they would not result in any overlooking or perceived overlooking to the detriment of the amenities of neighbouring properties.

- 8.8 Third party comments were received in relation to the BRE report and are noted. A revised design has been submitted as part of this application, which is not considered within the BRE report. As set out in paragraph 8.4 above, A shade diagram has been undertaken and this concluded that no overshadowing would be cast by the proposal to the neighbouring properties.
- 8.9 For the reasons outlined above, it is considered that due to the modest height of the proposal and the roof design, it is unlikely that the proposal would have a detrimental adverse effect on neighbouring amenity or living conditions, such as overbearing impact, loss of daylight or loss of sunlight. Therefore, the proposal is in compliance with policy LHW4 of the Test Valley Borough Council Revised Local Plan.
- 8.10 **Impact on ecology**
The proposal is not considered to give rise to any adverse impacts on existing habitat or on-site ecology, a condition has been included to ensure development proceeds in accordance with the measures set out in Section 5.0 'Assessment of Ecological Effects And Mitigation/Compensation/ Enhancement Measures' of the Ecological Impact Assessment (ECOSA Ltd, February 2021). in accordance with Policy E5 of the TVBRLP.
- 8.11 **Impact on parking provision**
Whilst the proposal includes the removal of a garage, there is sufficient off-street car parking on the proposed driveway for of the required minimum of 3 cars, in accordance with the required number of spaces for a 4 bedroom property as indicated within Policy T2 Annex G. A condition has been included to ensure that sufficient parking is provided for the property and retained at all times for this purpose, and to ensure the proposal conforms with Policy T2 Annex G
- 8.12 **Other Matters**
Third party concerns were received in relation to footings and foundation works and are noted. The development is proposed solely within the ownership of the applicant, as confirmed by the ownership certificate completed with the application form. Foundation works and footings will be dealt with by Building Control Regulations, as such, this not considered to be a planning consideration.
- 9.0 **CONCLUSION**
- 9.1 The proposal is considered acceptable and in accordance with the policies of the TVBRLP.
- 10.0 **RECOMMENDATION**
PERMISSION subject to:
- 1. The development hereby permitted shall be begun within three years from the date of this permission.
Reason: To comply with the provision of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.**

- 2. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers P01, P07B, P05B, P06B, P08B, P09A, P10A, and P11A**
Reason: For the avoidance of doubt and in the interests of proper planning.
- 3. The external materials to be used in the construction of all external surfaces of the development hereby permitted shall be as specified on the application form and the approved plans**
Reason: To ensure a satisfactory visual relationship of the new development with the existing in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1.
- 4. Development shall proceed in accordance with the measures set out in Section 5.0 'Assessment of Ecological Effects And Mitigation/Compensation/ Enhancement Measures' of the Ecological Impact Assessment (ECOSA Ltd, February 2021). Thereafter, the enhancements shall be permanently maintained and retained in accordance with the approved details.**
Reason: To conserve and enhance biodiversity in accordance with policy E5 of the Test Valley Revised Local Plan DPD
- 5. Prior to the occupation the development hereby approved, the windows identified on drawing P02 B, on the South-West elevation, shall be obscured glazing and retained as such in perpetuity.**
Reason: To protect the amenity and privacy of the adjoining occupiers in accordance with Test Valley Borough Revised Local Plan (2016) Policy LWH4.
- 6. The development hereby approved shall not be occupied or brought into use until the parking layout as shown on plan P10A, have been provided in accordance with the approved plans. The area of land so provided shall be retained at all times for this purpose.**
Reason: To ensure sufficient off-street parking has been provided in accordance with the Test Valley Borough Revised Local Plan (2016) Policy T2 and in the interest of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1.

Note to applicant:

- 1. In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.**
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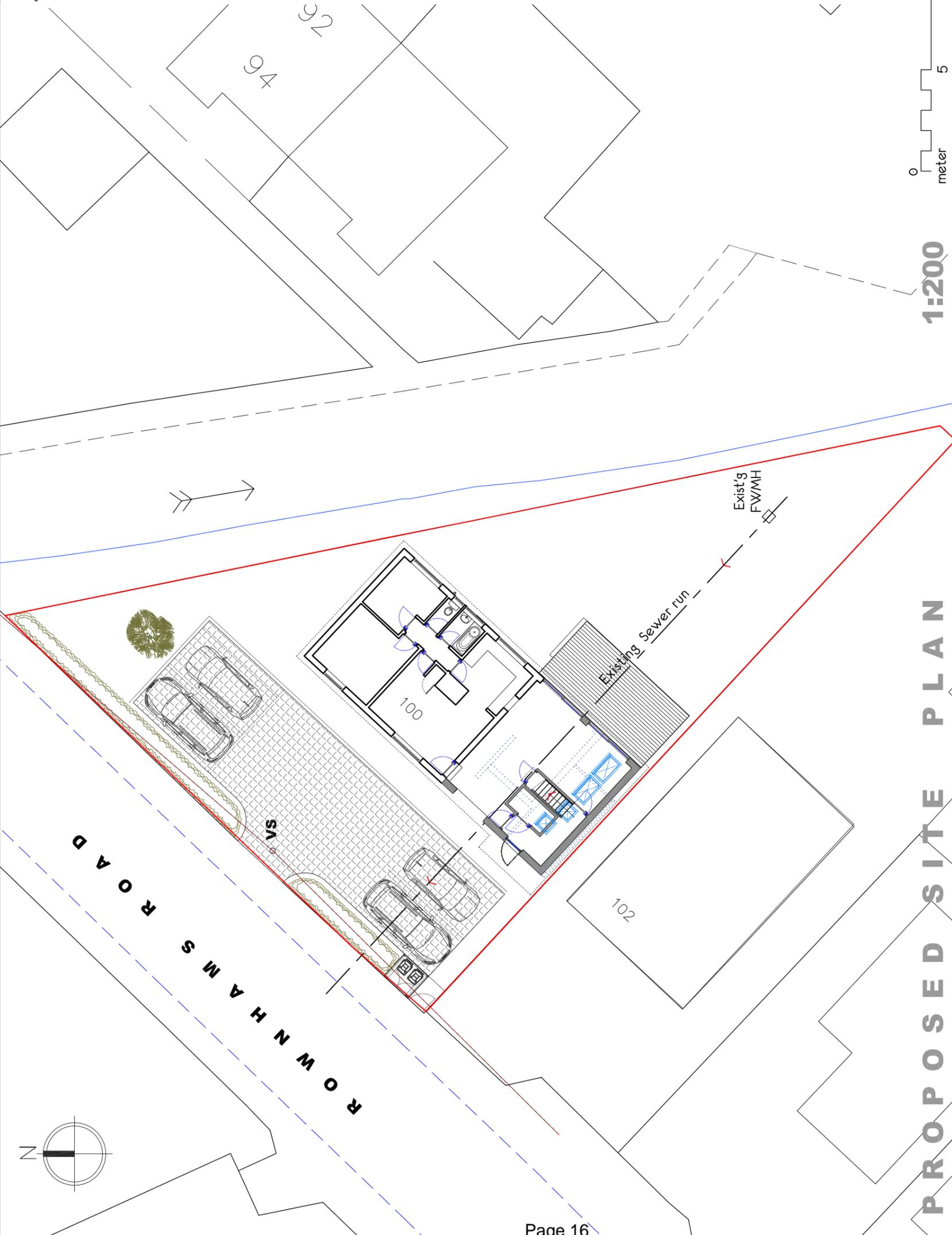
Siteplan



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21/03213/FULLS

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1:200

meter

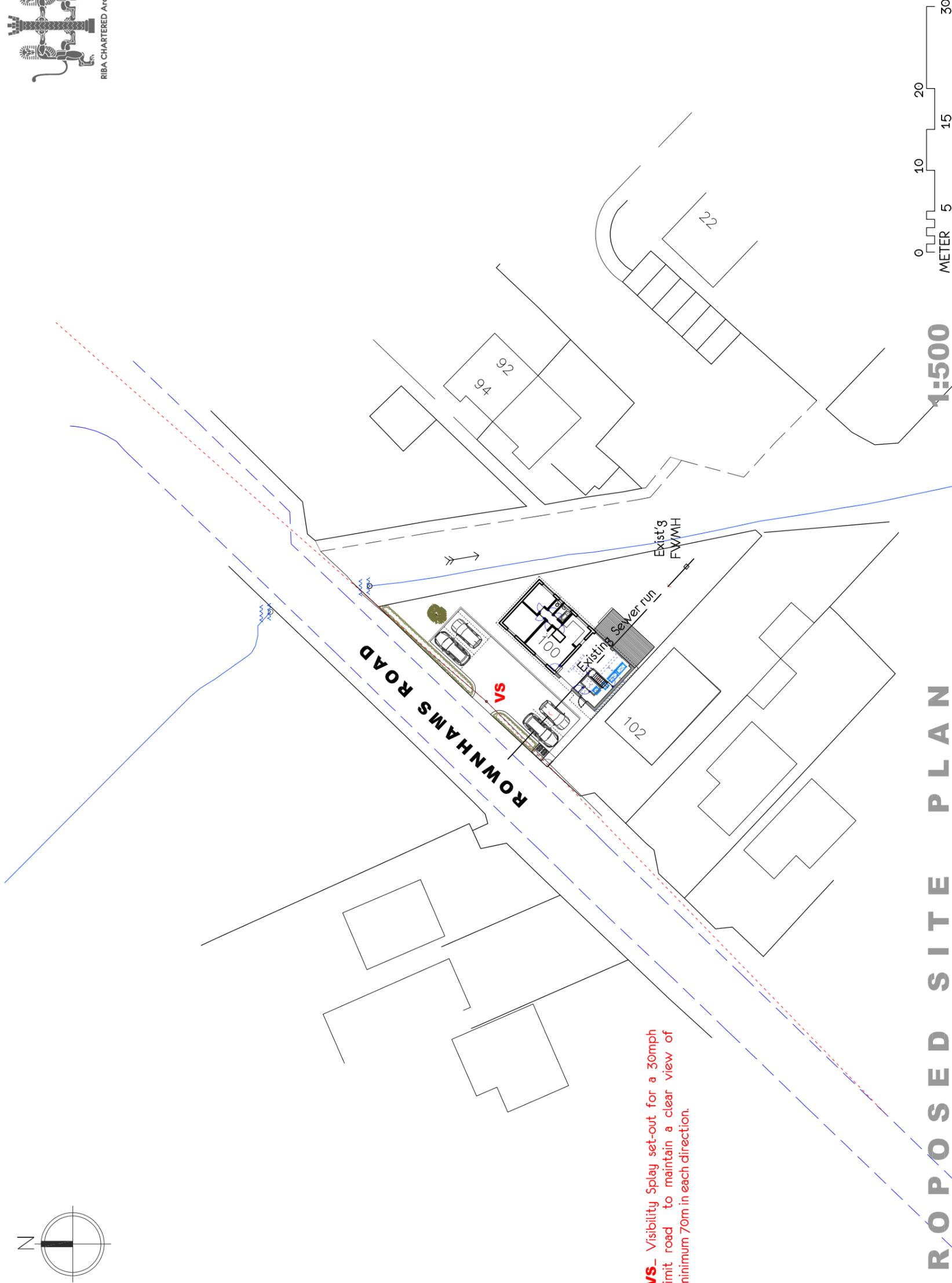
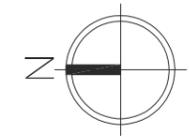
0 5 10 15 20

PROPOSED SITE PLAN

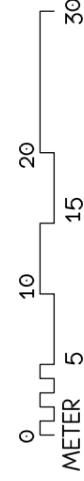
<p>Project Name and Address: Proposed new roof over existing dwelling flat roofs to form a larger 4-Bedroom dwelling @ 100 Rownhams Rd, N/ Baddesley</p>		<p>Project Ref: 201101</p>	<p>Origin: TA</p>	<p>Zone: 01</p>	<p>Level: 01</p>	<p>Type: P</p>	<p>Role: A</p>	<p>Number: P10</p>	<p>Rev: A</p>
<p>Client: Let Manager ltd.</p>		<p>Status: Appraisal</p>							
<p>Drawing Title: Proposed Site plan</p>		<p>Project Stage: Planning</p>		<p>Sheet @ A3: 1:200</p>		<p>Date: Jun 2021</p>		<p>Rev: Comments:</p>	
<p>TA Code: 201101</p>		<p>Project Stage: Planning</p>		<p>Sheet @ A3: 1:200</p>		<p>Date: Jun 2021</p>		<p>Rev: Comments:</p>	
<p>Toldfield Architects Ltd 5 Freemantle Business Centre 152 Millbrook Road East Southampton SO15 1JR Tel: 023 80 236165</p>		<p>Project Ref: 201101</p>		<p>Origin: TA</p>		<p>Zone: 01</p>		<p>Level: 01</p>	
<p>E-mails: info@toldfieldarchitects.co.uk adi@toldfieldarchitects.co.uk kourosh@toldfieldarchitects.co.uk Web: www.toldfieldarchitects.co.uk</p>		<p>Project Ref: 201101</p>		<p>Origin: TA</p>		<p>Zone: 01</p>		<p>Level: 01</p>	
<p>TOLDFIELD ARCHITECTS</p>		<p>Project Ref: 201101</p>		<p>Origin: TA</p>		<p>Zone: 01</p>		<p>Level: 01</p>	
<p>24/01/22</p>		<p>Project Ref: 201101</p>		<p>Origin: TA</p>		<p>Zone: 01</p>		<p>Level: 01</p>	
<p>Dr:</p>		<p>Project Ref: 201101</p>		<p>Origin: TA</p>		<p>Zone: 01</p>		<p>Level: 01</p>	
<p>Ch:</p>		<p>Project Ref: 201101</p>		<p>Origin: TA</p>		<p>Zone: 01</p>		<p>Level: 01</p>	



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VS - Visibility Splay set-out for a 30mph limit road to maintain a clear view of minimum 70m in each direction.



1:500

PROPOSED SITE PLAN

TOLDFIELD ARCHITECTS
 Toldfield Architects Ltd
 5 Freemantle Business Centre
 152 Millbrook Road East
 Southampton
 SO15 1JR
 Tel: 023 80 236165
 Emails:
 info@toldfieldarchitects.co.uk
 adi@toldfieldarchitects.co.uk
 kourosh@toldfieldarchitects.co.uk
 Web: www.toldfieldarchitects.co.uk

Project Name and Address:
Proposed new roof over existing dwelling flat roofs to form a larger 4-Bedroom dwelling @ 100 Rownhams Rd, N/ Baddesley

Client:
Let Manager ltd.

Drawing Title:
Proposed Site plan_ 1:500

Project Ref: 201101
 Status: Appraisal
 TA Code: 201101
 Project Stage: Planning
 Sheet @ A3: 1:500
 Date: Nov 2020

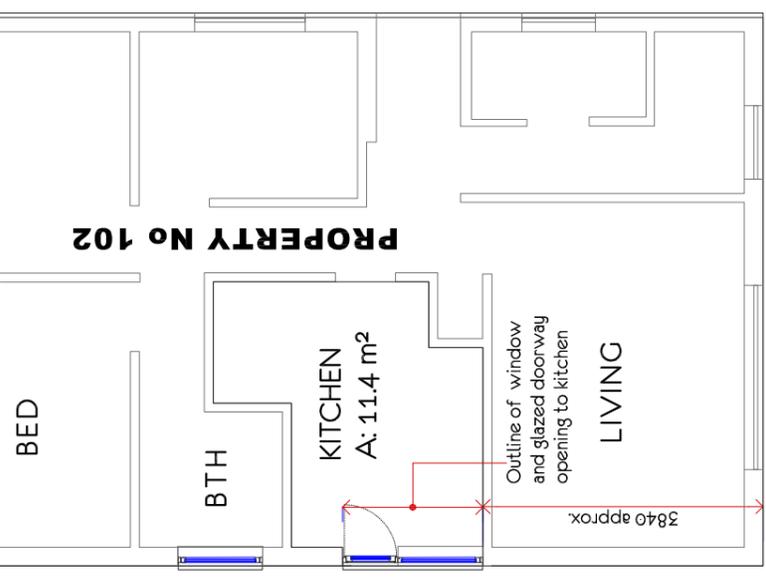
Rev:	Comments:	Dr:	Ch:
A	Eaves detail facing 102, altered into a traditional eaves		24/01/22

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RIBA CHARTERED ARCHITECTS

PROPERTY No 102

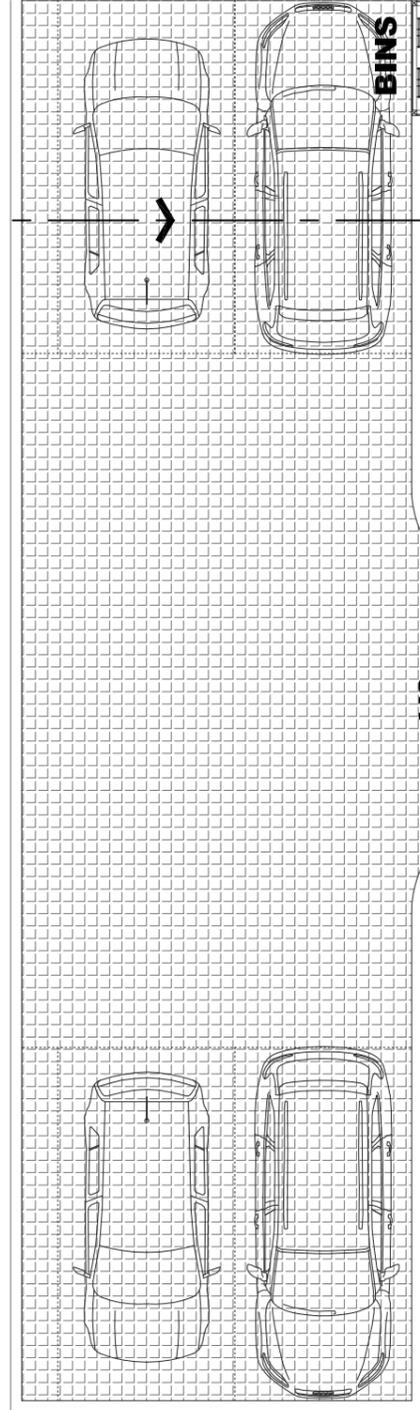
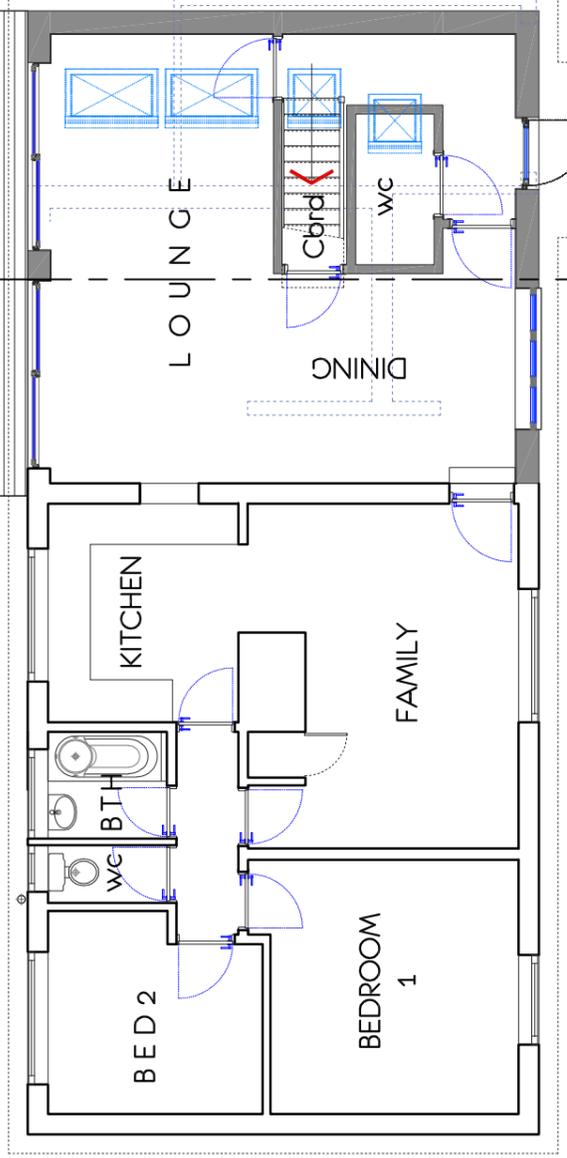


NOTE: The plan above is an approximate representation of the property layout at 102 Rownhams road, demonstrating, in particular, the form of the existing kitchen.

KEY	
	PROPOSED WALLS AND PARTITIONS
	EXISTING WALLS AND PARTITIONS
	EXISTING WALLS AND PARTITIONS TO BE REMOVED



B O U N D A R Y



1:100
meter

0 5 10

PROPOSED GROUND FLOOR PLAN

TOLDFIELD ARCHITECTS
 Emails:
 Toldfield Architect Ltd
 5 Freemantle Business Centre
 152 Millbrook Road East
 Southampton
 SO15 1JR
 Tel: 023 80 236165
 info@toldfieldarchitects.co.uk
 ad@toldfieldarchitects.co.uk
 kourosh@toldfieldarchitects.co.uk
 Web: www.toldfieldarchitects.co.uk

Project Name and Address:
Proposed new roof over existing dwelling flat roofs to form a larger 4-Bedroom dwelling @ 100 Rownhams Rd, N/ Baddesley

Client:
Let Manager Ltd.

Drawing Title:
Proposed ground floor plan

Project Ref:	Origin:	Zone:	Level:	Type:	Role:	Number:	Rev:
201101	TA	01	01	P	-A	-P05	B

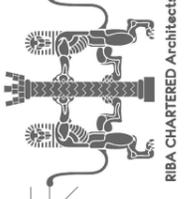
Status:
Final Design

Project Stage:
Sheet @ A3: _____ Date: _____

201101 Planning 1:100 June 2021

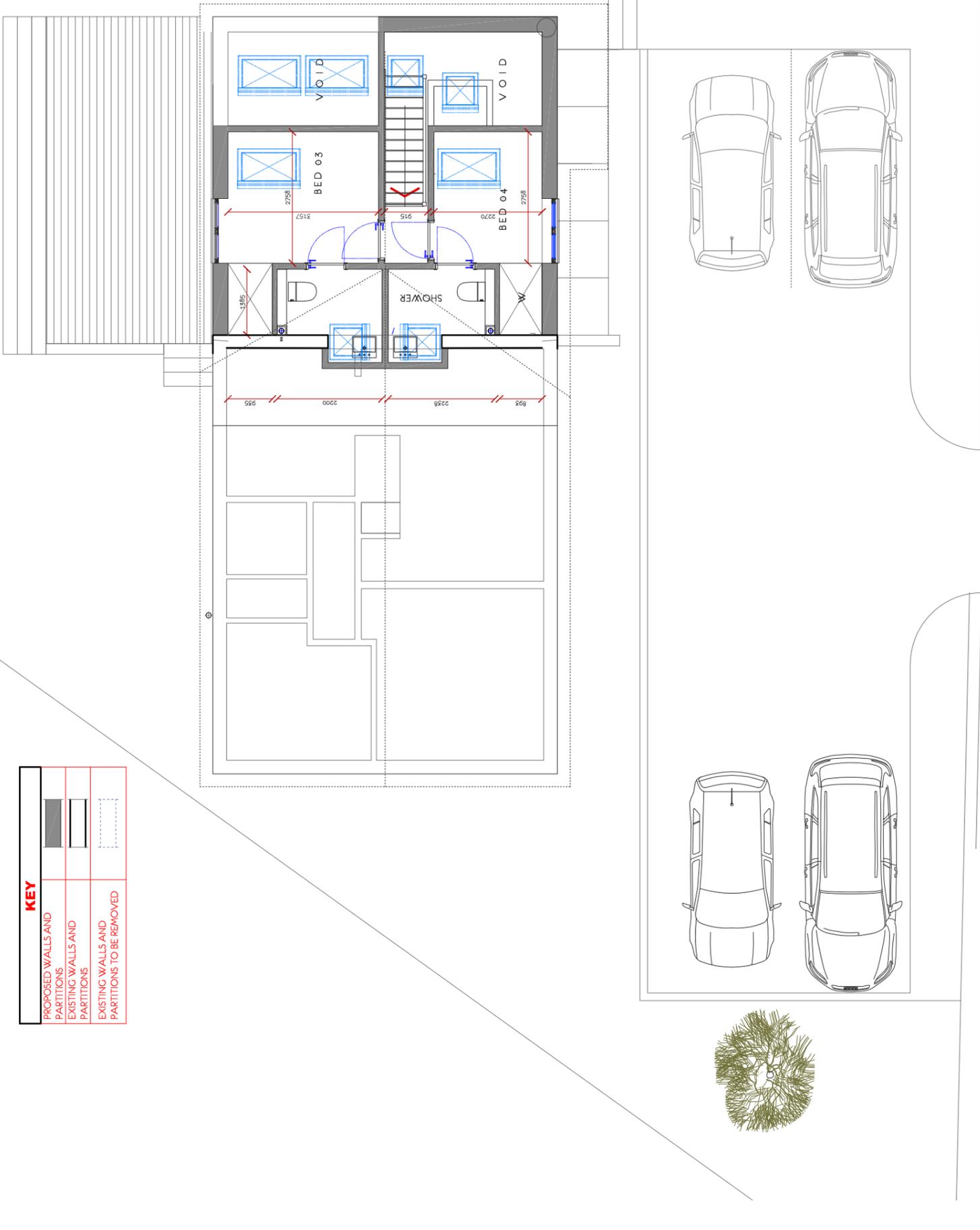
Rev:	Comments:	Dr:	Ch:
B	Internal floor layout of property No 102 added		23/12/21
A	Scale bar adjusted		08/1121

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KEY

PROPOSED WALLS AND PARTITIONS	
EXISTING WALLS AND PARTITIONS	
EXISTING WALLS AND PARTITIONS TO BE REMOVED	

1:100

meter

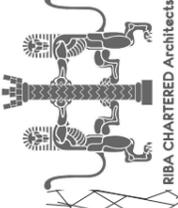
PROPOSED FIRST FLOOR PLAN

<p>TOLDFIELD ARCHITECTS</p> <p>Toldfield Architects Ltd 5 Freemantle Business Centre 152 Millbrook Road East Southampton SO15 1JR Tel: 023 80 236165</p> <p>Emails: info@toldfieldarchitects.co.uk ad@toldfieldarchitects.co.uk kourosh@toldfieldarchitects.co.uk Web: www.toldfieldarchitects.co.uk</p>	<p>Project Name and Address: Proposed new roof over existing dwelling flat roofs to form a larger 4-Bedroom dwelling @ 100 Rownhams Rd, N/ Baddesley</p>	<p>Project Ref: 201101</p>	<p>Origin: TA</p>	<p>Zone: 01</p>	<p>Level: 01</p>	<p>Type: P</p>	<p>Role: A</p>	<p>Number: P06 B</p>	<p>Rev:</p>
	<p>Client: Let Manager Ltd.</p> <p>Drawing Title: Proposed first floor plan</p>	<p>Status: Appraisal</p> <p>TA Code: 201101</p> <p>Project Stage: Planning</p> <p>Sheet @ A3: 1:100</p> <p>Date: June 2021</p>	<p>Rev: B</p> <p>Comments: Eaves detail facing 102, altered into a traditional eaves</p>	<p>Rev: A</p> <p>Comments: Scale bar adjusted</p>	<p>Date: 24/01/22</p>	<p>Date: 08/11/21</p>	<p>Dr:</p>	<p>Ch:</p>	

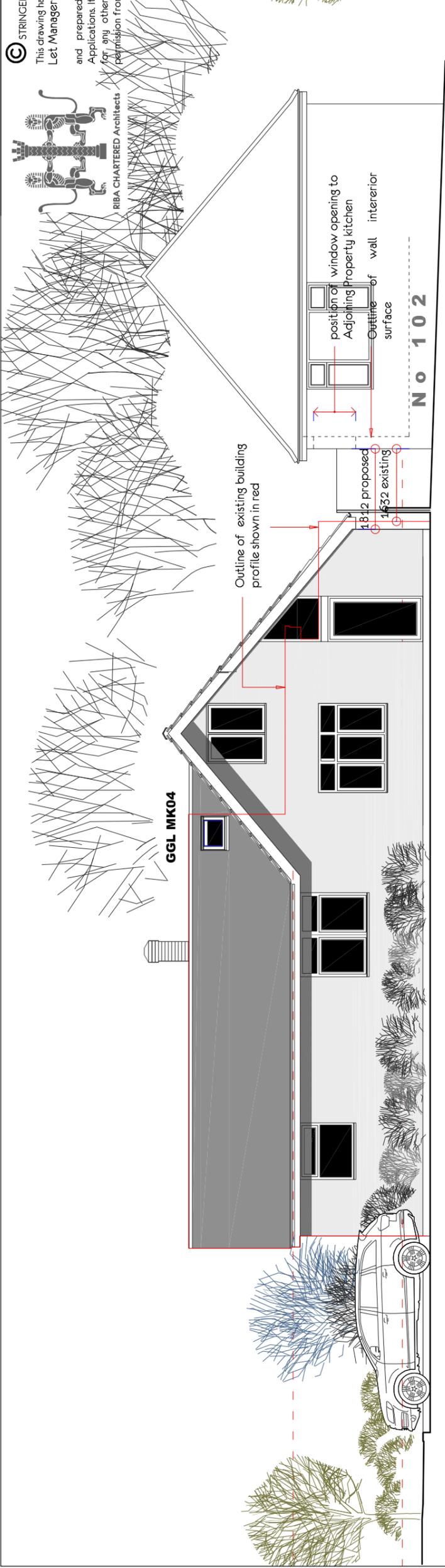
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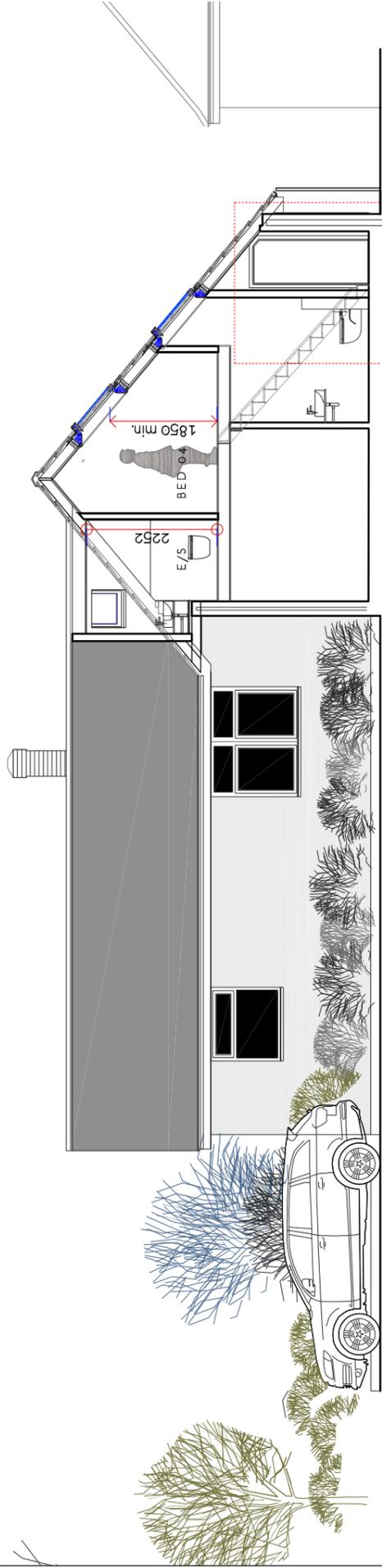
RIBA CHARTERED ARCHITECTS



FRONT ELEVATION 1:100

OUTLINE SPECIFICATION

- 1. ROOFS:** New interlocking concrete tiles to match existing.
- 2. FACIA & BARGE BOARDS:** In PVCu by Swish Building products in white to match existing
- 3. DOORS & WINDOWS:** In PP coated Aluminium or PVCu frames (RAL 7016).
- 4. WALL FINISH:** In Silicon FT scraped fine textured finish render in white by "K Rend".
- 5. ROOF-LIGHTS:** All new Rooflights by Velux in Lacquered aluminium grey RAL 7043 or standard black. Minimum height of lowest opening frame 1850mm from FFL, see section. (see Elevations for Velux codes)



PROPOSED CROSS_SECTION 1:100

TOLDFIELD ARCHITECTS

Toldfield Architects Ltd
5 Freemantle Business Centre
152 Millbrook Road East
Southampton
SO15 1JR
Tel: 023 80 236165

Emails:
info@toldfieldarchitects.co.uk
ad@toldfieldarchitects.co.uk
kourosh@toldfieldarchitects.co.uk
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Project Name and Address:
Proposed new roof over existing dwelling flat roofs to form a larger 4-Bedroom dwelling @ 100 Rowhams Rd, N/ Baddesley

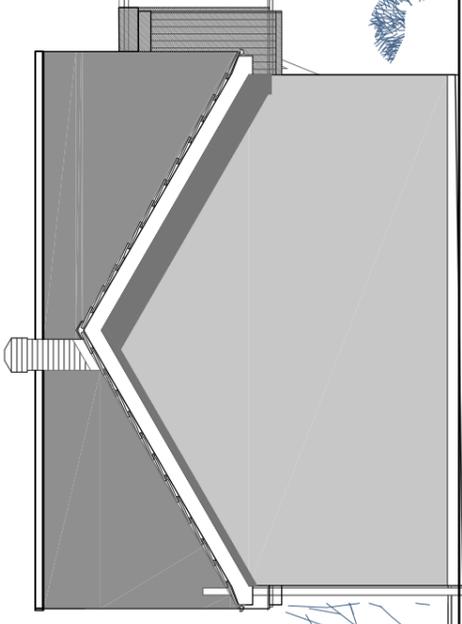
Client:
Let Manager ltd.

Drawing Title:
Proposed front elevation and section

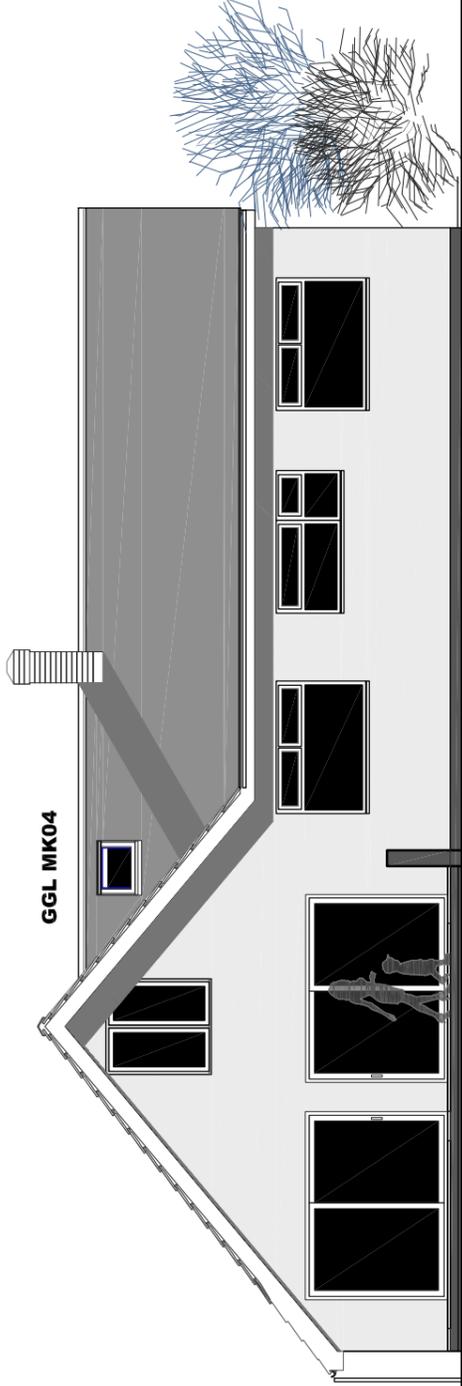
Project Ref: 201101
Origin: TA
Zone: 01
Level: 01
Type: E
Role: A
Number: P07
Rev: B

Status: Appraisal
TA Code: 201101
Project Stage: Planning
Sheet @ A3: 1:100
Date: June 2021

Rev:	Comments:	Date:
B	Eaves form altered into atraditional eaves.	24/01/22
A	Scale bar adjusted	08/11/21
Dr:		Ch:



GGL MK04



GGL UK04

GGL PK04

GGL UK04

GGL PK04 2 x GGL UK04

High level Roof-lights over new bedrooms and stairs to be fixed with obscured glass

High level Roof-lights over new WC Closet to have obscured glass

High level Roof-lights over new Lounge to be fixed and obscured glass

REAR ELEVATION 1:100

SIDE ELEVATION N/E 1:100

OUTLINE SPECIFICATION

- 1. ROOFS:** New interlocking concrete tiles to match existing.
- 2. FACIA & BARGE BOARDS:** In PVCu by Swish Building products in white to match existing
- 3. DOORS & WINDOWS:** In PP coated Aluminum or PVCu frames (RAL 7016).
- 4. WALL FINISH:** In Silicon FT scraped fine textured finish render white by "K Rend."
- 5. ROOF-LIGHTS:** All new Rooflights by Velux in Lacquer aluminium grey, RAL 7045 or standard black. Minimum height of lowest opening frame 1850mm from FFL. see section. (see Elevations for Velux codes).



1:100

SIDE ELEVATION S / W



Toldfield Architects Ltd
5 Freemantle Business Centre
152 Millbrook Road East
Southampton
SO15 1JR
Tel: 023 80 236165

Emails:

info@toldfieldarchitects.co.uk
adi@toldfieldarchitects.co.uk
kourosh@toldfieldarchitects.co.uk
Web: www.toldfieldarchitects.co.uk

Project Name and Address:

Proposed new roof over existing dwelling flat roofs to form a larger 4-Bedroom dwelling @ 100 Rowhams Rd, N/ Baddesley

Client:

Let Manager Ltd.

Drawing Title:

Proposed rear and side elevations

Project Ref:

201101

Origin:

TA - 01 - 01

Zone:

- 01 - 01

Level:

- 01 - 01

Type:

E - A

Role:

- P08 - B

Number:

Rev:

Status:

Final Design

Project Stage:

TA Code

Sheet @ A3:

Sheet @ A3:

Date:

24/01/22

Scale bar adjusted

08/1121

Rev:

Comments:

Dr:

Ch:

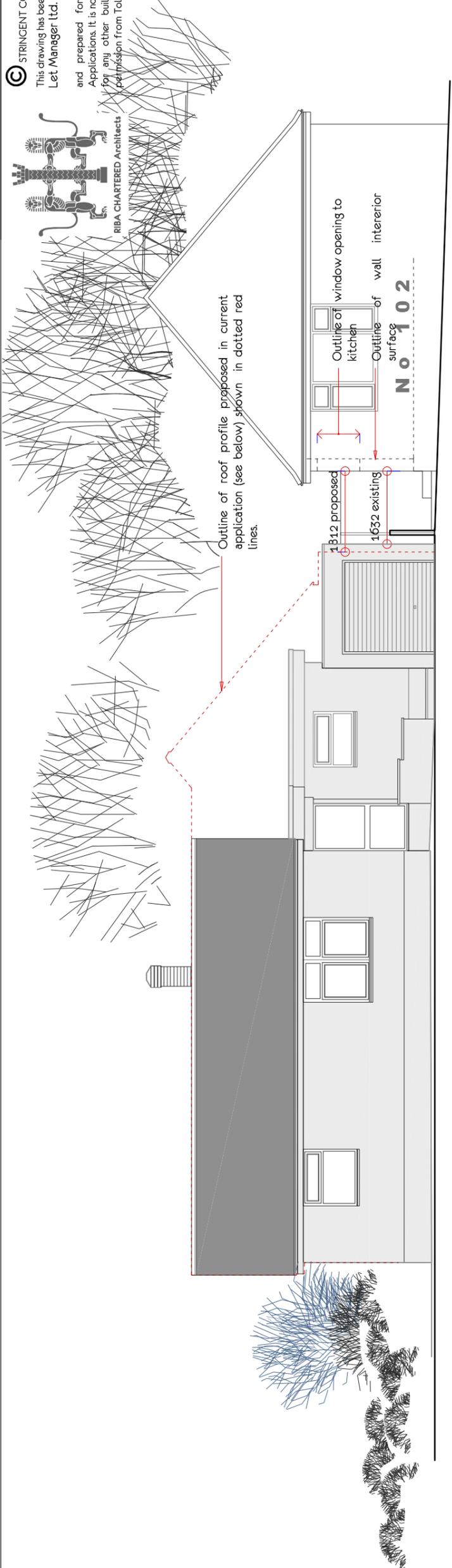
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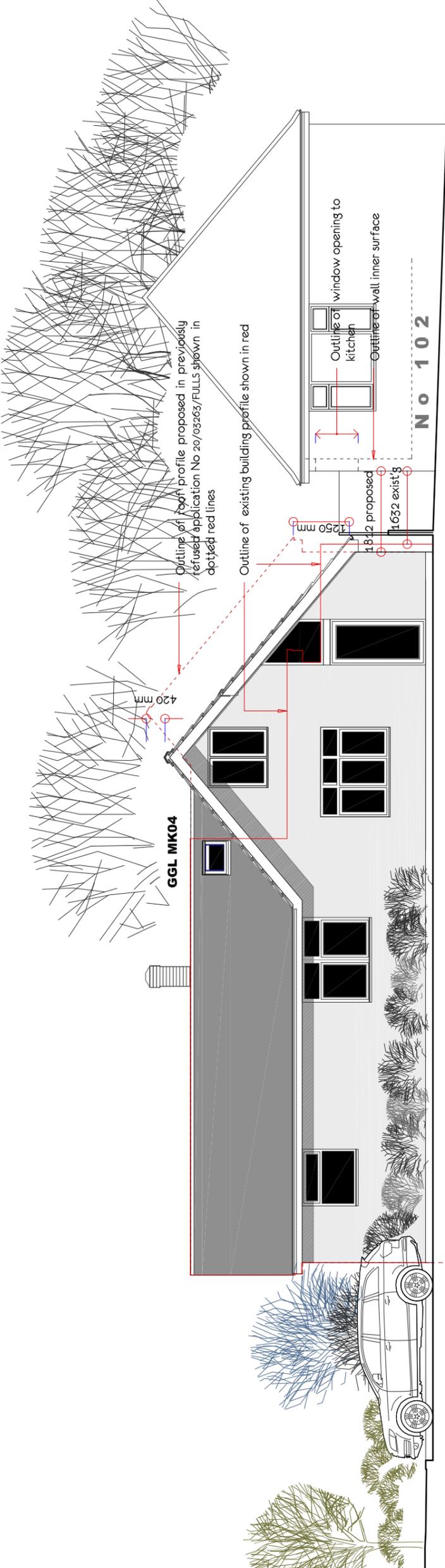


RIBA CHARTERED ARCHITECTS

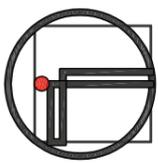


EXISTING STREET VIEW FRONTING HIGHWAY

1:100



PROPOSED STREET VIEW FRONTING HIGHWAY 1:100

TOLDFIELD ARCHITECTS

Toldfield Architects Ltd
5 Freemantle Business Centre
152 Millbrook Road East
Southampton
SO15 1JR
Tel: 023 80 236165

Emails:
info@toldfieldarchitects.co.uk
ad@toldfieldarchitects.co.uk
kourosh@toldfieldarchitects.co.uk
Web: www.toldfieldarchitects.co.uk

Project Name and Address:
Proposed new roof over existing dwelling flat roofs to form a larger 4-Bedroom dwelling @ 100 Rowhams Rd, N/ Baddesley

Client:
Let Manager Ltd.

Drawing Title:
Existing and proposed street views fronting highway

Project Ref: 201101
Origin: TA
Zone: 01
Level: 01
Type: E
Role: A
Number: P09
Rev: A

Status: Final Design

Project Stage: Planning
Sheet @ A3: 1:100
Date: June 2021

Rev:	Comments:	Dr:	Ch:
A	Eaves detail facing 102, altered into a traditional eaves		24/01/22

ITEM 8

APPLICATION NO.	22/00304/FULLS
APPLICATION TYPE	FULL APPLICATION - SOUTH
REGISTERED	08.02.2022
APPLICANT	Mr Malcolm Eames
SITE	32 and 33 Catmint Close, Chandlers Ford, SO53 4NT, VALLEY PARK
PROPOSAL	Erection of 1.8m high fence and change of use of land from amenity to residential garden
AMENDMENTS	None
CASE OFFICER	Mr Nathan Glasgow

Background paper (Local Government Act 1972 Section 100D)

1.0 INTRODUCTION

1.1 The application is presented to Southern Area Planning Committee in accordance with the Member and Officer Interests Protocol.

2.0 SITE LOCATION AND DESCRIPTION

2.1 Catmint Close is a high-density close located in the north-west of Valley Park, accessed from Sky's Wood Road. The dwellings, which are the subject of this application (32 and 33), are a semi-detached pair at the far end (south) of the close.

3.0 PROPOSAL

3.1 Erection of 1.8m high fence and change of use of land from amenity to residential garden.

3.2 The area of land to be incorporated into the residential gardens of 32 and 33 Catmint Close is a narrow, diagonal strip, directly south of both properties. There would be an increase in garden sizes of approximately 5.5m² at no.32 and 4.5m² at no.33.

4.0 HISTORY

4.1 No relevant planning history

5.0 CONSULTATIONS

5.1 None

6.0 **REPRESENTATIONS** Expired 03.03.2022

6.1 **Valley Park Parish Council** – No comment

7.0 POLICY

7.1 Government Guidance

National Planning Policy Framework (NPPF)

National Planning Practice Guidance (NPPG)

7.2 Test Valley Borough Revised Local Plan (2016)(RLP)

COM2: Settlement Hierarchy

E1: High Quality Development in the Borough

E2: Protect, Conserve and Enhance the Landscape Character of the Borough

LHW4: Amenity

T1: Managing Movement

T2: Parking Standards

8.0 **PLANNING CONSIDERATIONS**

8.1 The main planning considerations are:

- Principle of development
- Impact on character and appearance of the area
- Impact on neighbouring amenity
- Impact on the highway network

8.2 Principle of development

The application site is located within the settlement boundary of Valley Park as defined by the Inset Maps of the Revised Local Plan. Development within the settlement is considered to be acceptable in principle under Policy COM2, provided it is compliant with other relevant planning policy.

8.3 Impact on character and appearance of the area

The proposal seeks to change the use of a small parcel of land which is in the ownership of the occupants at both 32 and 33 Catmint Close; this will include the realignment of the boundary fence to the south (rear). The area of land that is subject to this change of use is a small strip of overgrown grass that runs along the rear of the two application dwellings, and 24 Barn Piece, to the south (both the dwelling and its detached garage). The area is unkempt and does not provide any positive visual amenity to the character of the area, furthermore the new boundary fence along the rear would not result in harm to the character and appearance of the area. It is considered that the proposal would have a neutral impact upon the character and appearance of the area and as such accords with policies E1 and E2 of the Revised Local Plan.

8.4 Impact on neighbouring amenity

The proposed development would not result in additional levels of overlooking or any loss of privacy to neighbouring properties. The new boundary fence would be in closer proximity to the detached garage at 24 Barn Piece, but the change of use and installation of the fence would result in no significant loss of sunlight or daylight into habitable rooms or the garden of this property. Taking the above into consideration there is not considered to be any loss of amenity to neighbouring properties. The proposal accords with Policy LHW4 of the Revised Local Plan.

8.5 Impact on highway network

The existing strip of land to the south of the two application dwellings is not a public right of way and does not act as a formal access route for pedestrians. Nonetheless, the change of use of part of this land would not be to the detriment of pedestrians, vehicle users and would not result in a loss of parking space or demand for additional parking. The proposal therefore accords with Policies T1 and T2 of the Revised Local Plan.

9.0 CONCLUSION

9.1 The proposal is considered to accord with the policies of the Test Valley Borough Revised Local Plan (2016) and is therefore acceptable.

10.0 RECOMMENDATION

PERMISSION subject to:

1. The development hereby permitted shall be begun within three years from the date of this permission.

Reason: To comply with the provision of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans/numbers:

- Location Plan
- Block Plan
- Proposed Elevation

Reason: For the avoidance of doubt and in the interests of proper planning.

Note to applicant:

1. In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.



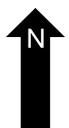
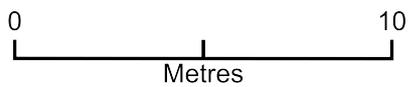
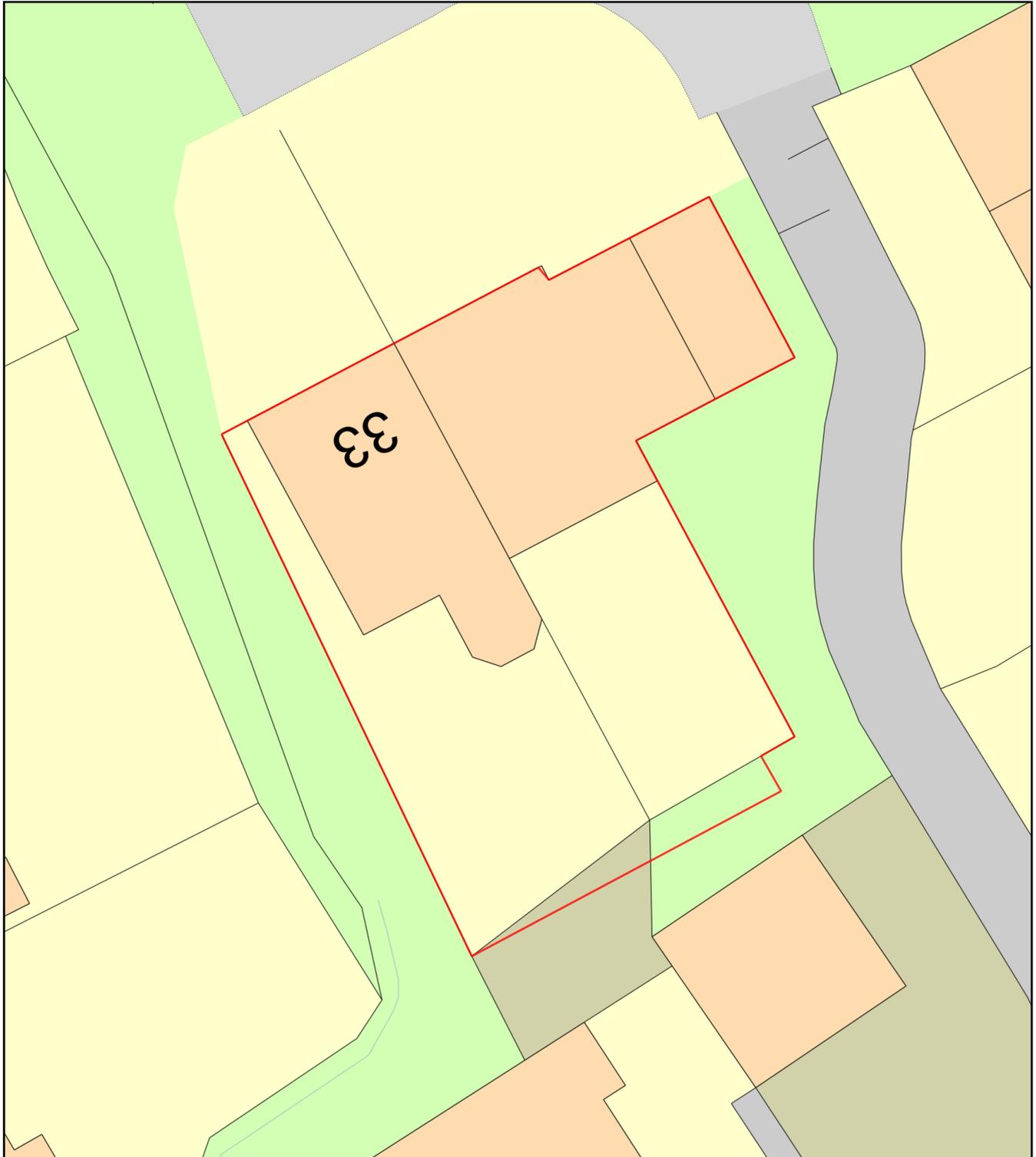
Siteplan



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22/00304/FULLS

Mr Malcolm Eames



Plan Produced for: 33 and 32 Catmint Close

Date Produced: 05 Feb 2022

Plan Reference Number: TQRQM22033180620669

Scale: 1:200 @ A4

PROPOSED

FENCE ELEVATION 1:50

